

QUAKERTOWN COMMUNITY SCHOOL DISTRICT



FEASIBILITY STUDY AND
DISTRICT MASTER PLANNING

ASSESSMENT PRESENTATION

January 26, 2016



AGENDA

- 1 Master Planning Process**
- 2 District Facility Conditions**
- 3 Discussion**

MASTER PLANNING PROCESS

QUAKERTOWN COMMUNITY SCHOOL DISTRICT



MASTER PLANNING PROCESS

2015

August

Conduct Facility Assessments

September

Develop Facility Analysis

2016

January

Presentation of Facility Analysis

February

Presentation of Capacity vs. Enrollment Projections

February

Options Workshop

March

Development of Options and Costs

March

Presentation of Options

March

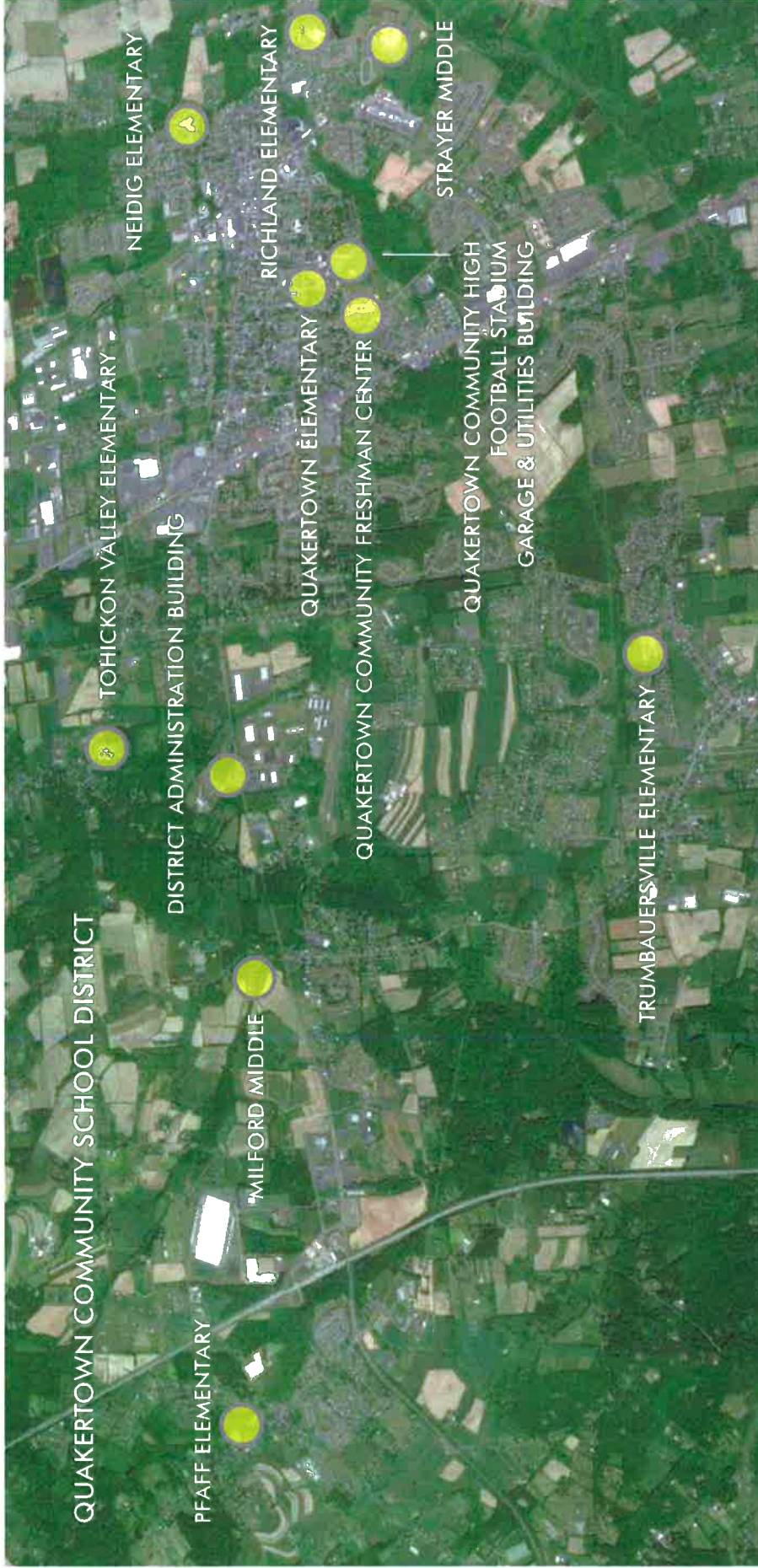
Presentation of Option Revisions

April

Presentation of Final Master Plan

DISTRICT FACILITY CONDITIONS

QUAKERTOWN COMMUNITY SCHOOL DISTRICT



QUAKERTOWN COMMUNITY SCHOOL DISTRICT

QUAKERTOWN COMMUNITY SCHOOL DISTRICT



FACILITY ASSESSMENT

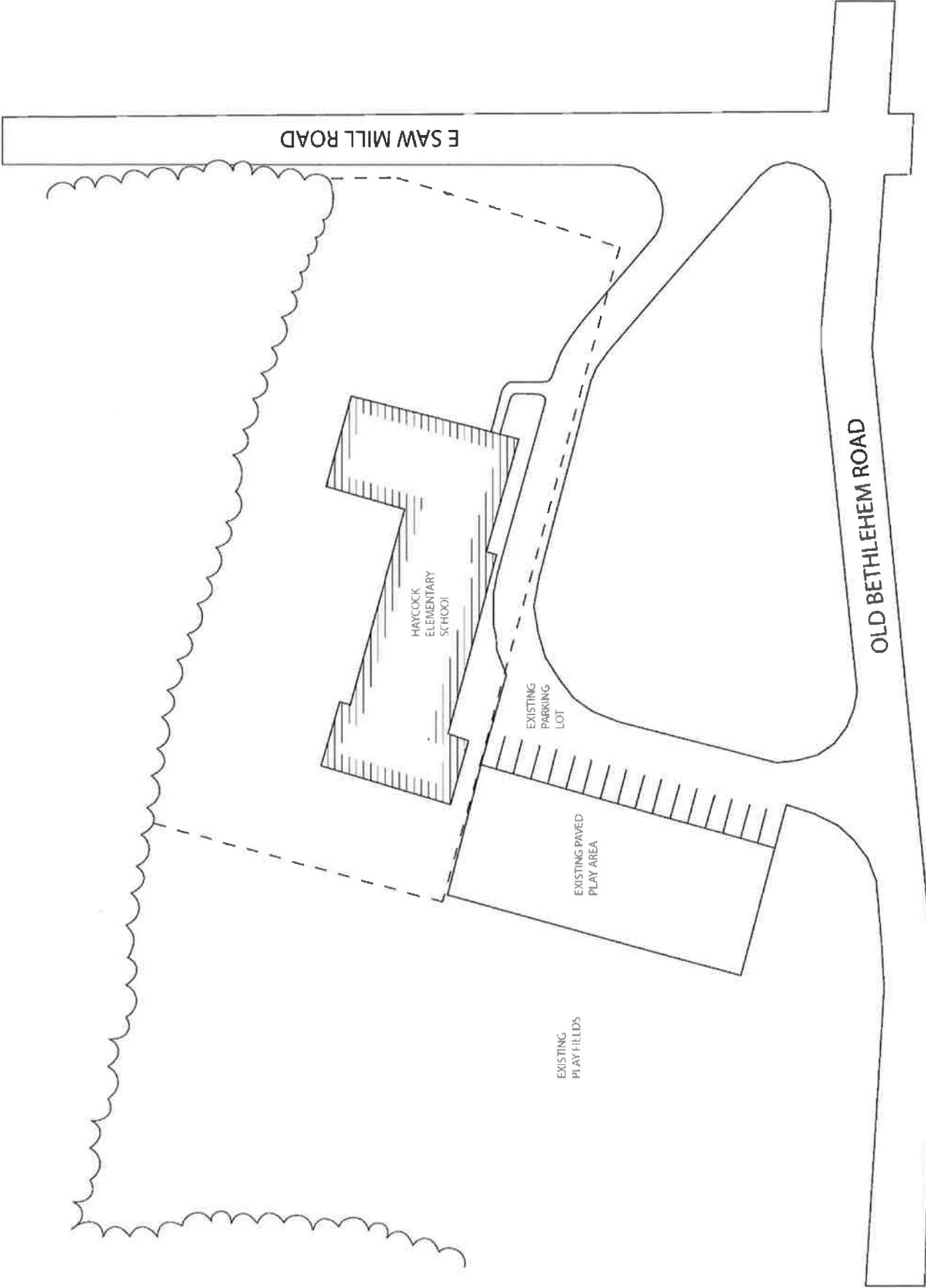
The Facility Assessments:

1. Include only those renovations necessary to upgrade all building systems
2. Include necessary Code and ADA upgrades
3. Include renovations to improve security, air quality, comfort, lighting and energy efficiency
4. Do not include educational reconfiguration
5. Do not include additions to accommodate enrollment growth



HAYCOCK ELEMENTARY SCHOOL

Facility Assessment



QUAKERTOWN COMMUNITY SCHOOL DISTRICT



HAYCOCK ELEMENTARY SCHOOL

Typical Images



QUAKERTOWN COMMUNITY SCHOOL DISTRICT



HAYCOCK ELEMENTARY SCHOOL

Highlights

1. Code – ADA upgrades required. Misc Building Code upgrades required
2. Site – Bus-car separation, storm water, no public utilities, septic is failing, topography constraints
3. Roofing – Poor slope to drains, beyond warranty, replace in entirety
4. Windows – Single pane, metal frames, replace in entirety (energy efficiency)
5. Envelope – Reconstruct failing masonry
6. Finishes – Replace floors, ceilings, casework, repaint
7. Electrical – End of systems useful life. Replace in entirety
8. Technology – upgrade as required
9. HVAC – End of systems useful life. Replace in entirety
10. Plumbing/FP – End of systems useful life. Replace in entirety
11. Environmental – Abate in entirety, VAT, Pipe insulation & fittings, ceiling plaster



HAYCOCK ELEMENTARY SCHOOL

Conceptual Renovation Costs

Construction Cost \$ 3,258,275

Soft Costs @ 30% \$ 977,483

TOTAL CONCEPTUAL COSTS \$ 4,235,758



NEIDIG ELEMENTARY SCHOOL

Facility Assessment

QUAKERTOWN COMMUNITY SCHOOL DISTRICT



NEIDIG ELEMENTARY SCHOOL

Typical Images



QUAKERTOWN COMMUNITY SCHOOL DISTRICT



NEIDIG ELEMENTARY SCHOOL

Highlights

1. Code – ADA upgrades required. Misc Building Code upgrades required
2. Site – Bus-car separation, public utilities available, topography constraints
3. Roofing – Poor slope to drains, beyond warranty, replace in entirety
4. Windows – Single pane, metal frames, replace in entirety (energy efficiency)
5. Envelope – Soffit and fascia repairs and upgrades required
6. Finishes – Replace some floors, ceilings, casework, repaint
7. Electrical – Install occupancy sensors
8. Technology – upgrade as required
9. HVAC – Add AC, upgrade controls
10. Plumbing/FP – Fire protection upgrades and some fixture replacement
11. Environmental – Abate in entirety, VAT and mastic



NEIDIG ELEMENTARY SCHOOL

Conceptual Renovation Costs

Construction Cost \$ 8,030,119

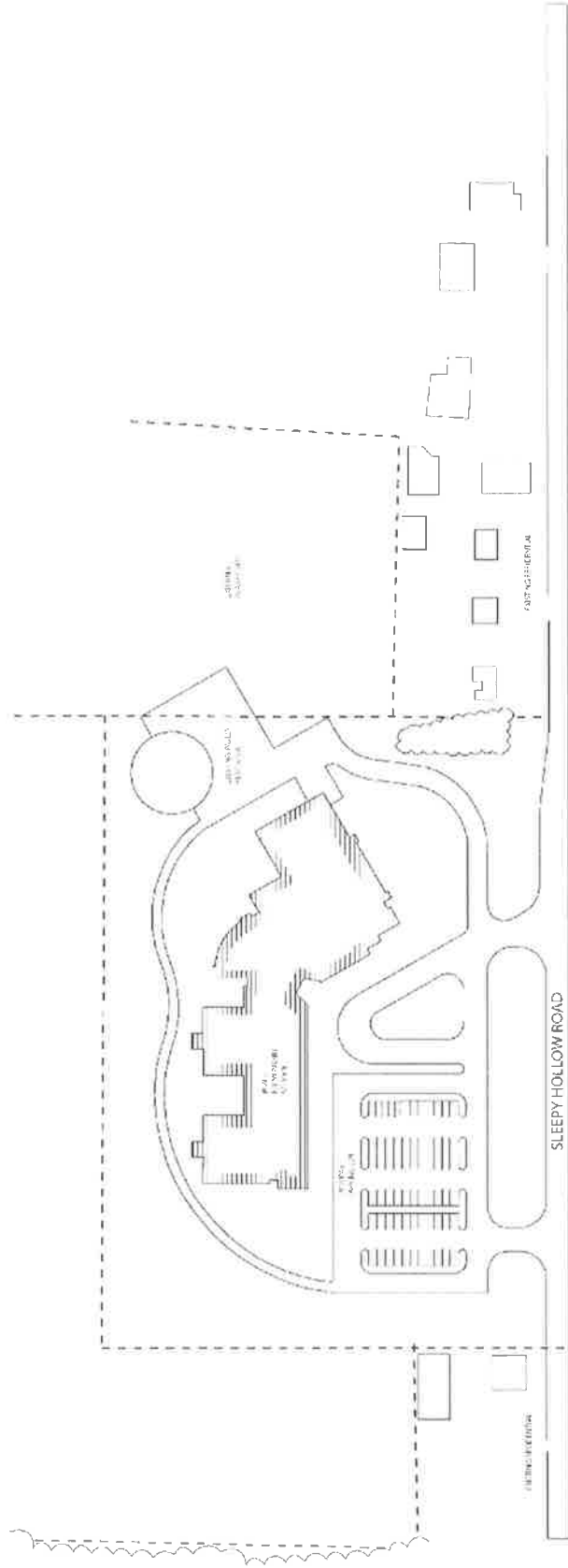
Soft Costs @ 30% \$ 2,409,036

TOTAL CONCEPTUAL COSTS \$ 10,439,155



PPAFF ELEMENTARY SCHOOL

Facility Assessment



QUAKERTOWN COMMUNITY SCHOOL DISTRICT



PF AFF ELEMENTARY SCHOOL

Typical Images





PF AFF ELEMENTARY SCHOOL

Highlights

1. Code – Building is Code Compliant
2. Site – Site is in excellent condition
3. Roofing – 30 year warranty (2005 roof) – excellent condition
4. Windows – Energy efficient window systems provided
5. Envelope – Minor brick deterioration. Minor water infiltration @ rotunda
6. Finishes – Minor casework laminate issues
7. Electrical – Excellent condition
8. Technology – Excellent
9. HVAC – Minor issues – minor geothermal vault leak
10. Plumbing/FP – Excellent and compliant
11. Environmental – none



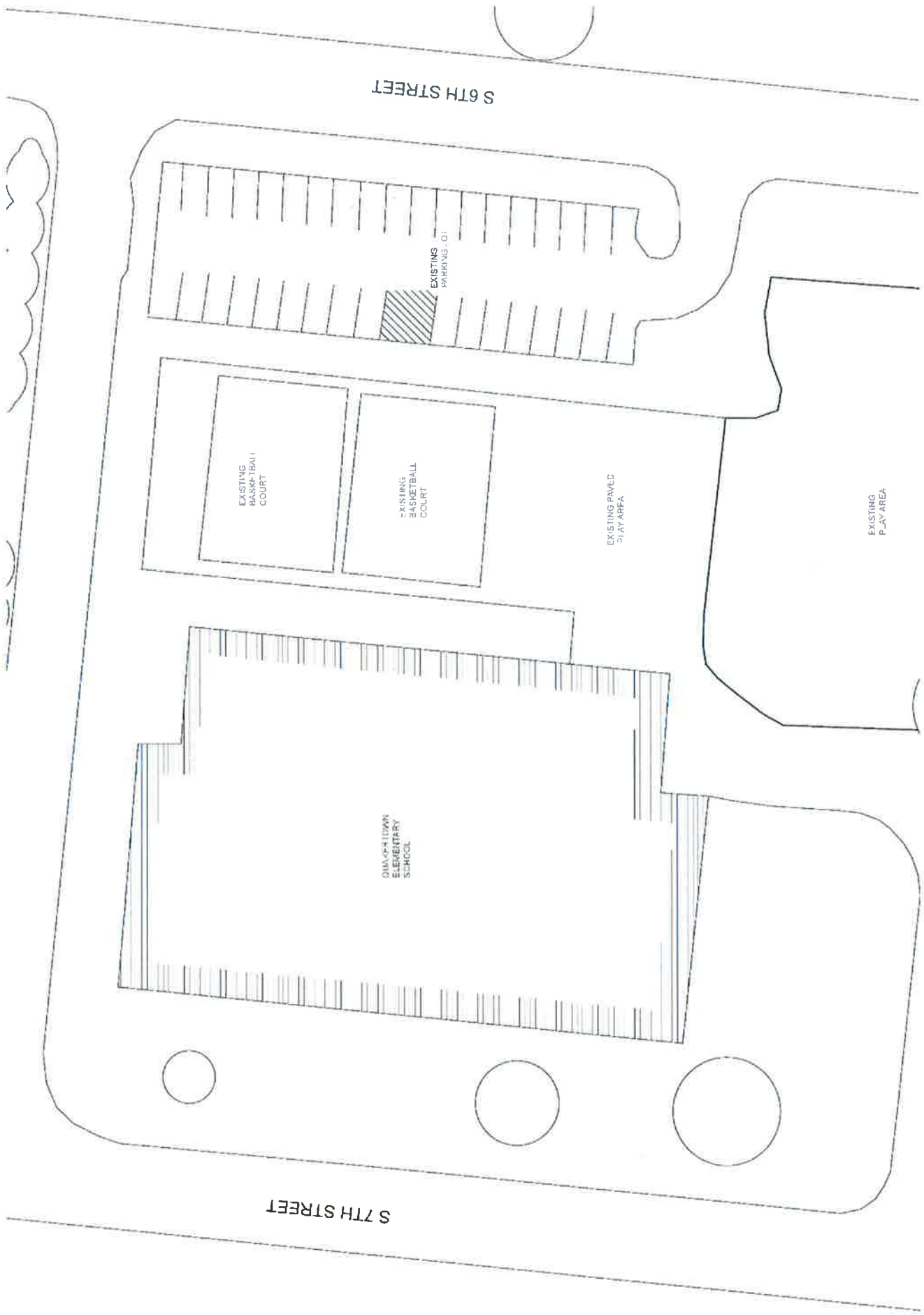
PFAFF ELEMENTARY SCHOOL

Conceptual Renovation Costs	
Construction Cost	\$ 764,978
Soft Costs @ 30%	\$ <u>229,493</u>
TOTAL CONCEPTUAL COSTS	\$ 994,471



QUAKERTOWN ELEMENTARY SCHOOL

Facility Assessment



S 6TH STREET

S 7TH STREET

QUAKERTOWN COMMUNITY SCHOOL DISTRICT



QUAKERTOWN ELEMENTARY SCHOOL

Typical Images





QUAKERTOWN ELEMENTARY SCHOOL

Highlights

1. Code – ADA issues, Code issues, elevator required
2. Site – No separation of bus/ parent drop off, congestion, zoning issues
3. Roofing – Nearing end of warranty, Replace in entirety
4. Windows – Replace Kalwall @ gym/ some vented windows non-functional
5. Envelope – Misc. masonry repairs required throughout
6. Finishes – Floor, ceiling, finish, casework replacement required
7. Electrical – End of useful life. Lighting acceptable in locations
8. Technology – Requires upgrade
9. HVAC – End of useful life
10. Plumbing/FP – Requires upgrade and system implementation
11. Environmental – Abate in entirety



QUAKERTOWN ELEMENTARY SCHOOL

Conceptual Renovation Costs

Construction Cost \$ 8,686,080

Soft Costs @ 30% \$ 2,605,824

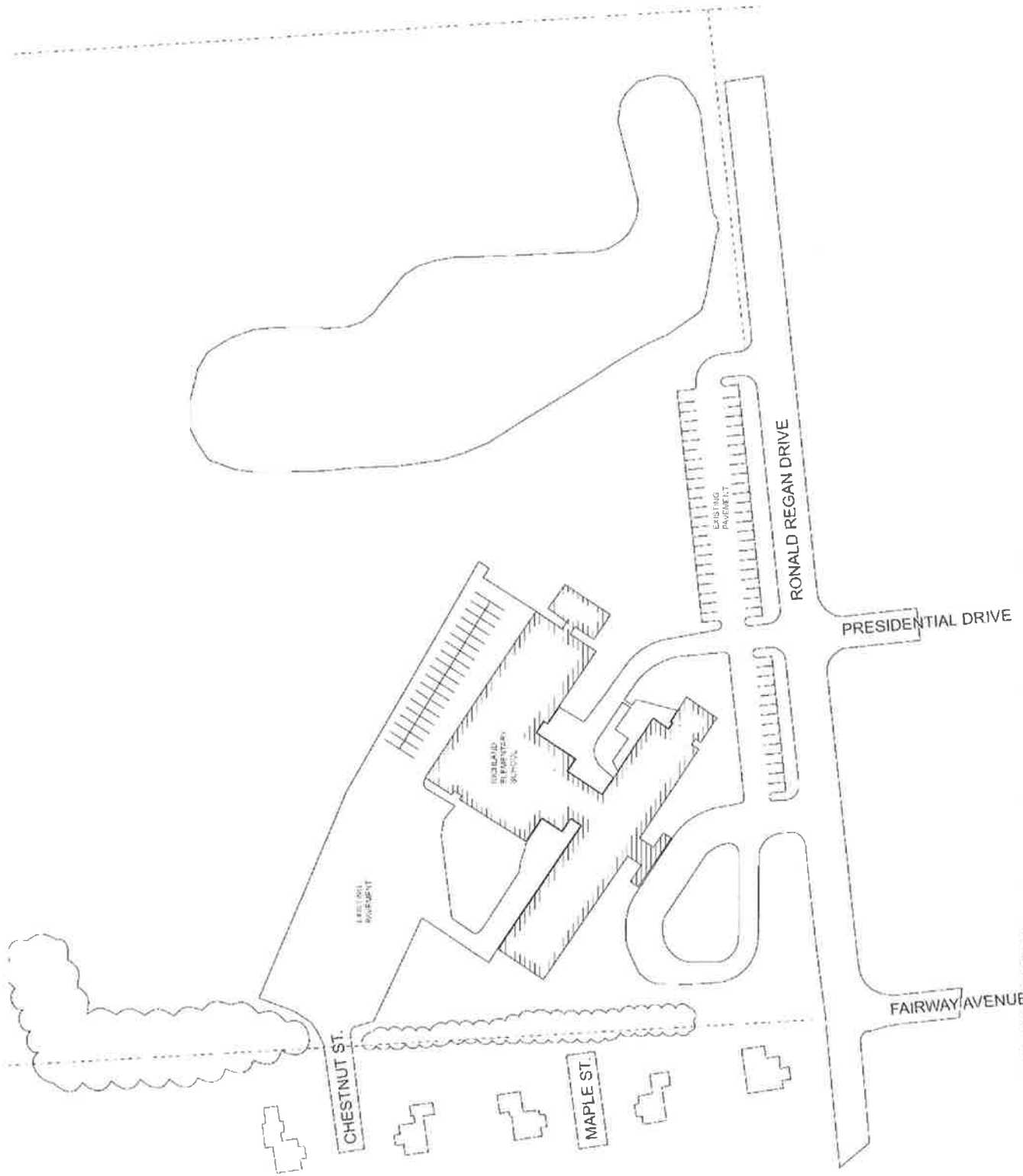
TOTAL CONCEPTUAL COSTS \$ 11,291,904



RICHLAND ELEMENTARY SCHOOL

Facility Assessment

QUAKERTOWN COMMUNITY SCHOOL DISTRICT



QUAKERTOWN COMMUNITY SCHOOL DISTRICT



RICHLAND ELEMENTARY SCHOOL

Typical Images



QUAKERTOWN COMMUNITY SCHOOL DISTRICT



RICHLAND ELEMENTARY SCHOOL

Highlights

1. Code – Code compliant
2. Site – Issues of ponding water on site, parking shortcomings
3. Roofing – Good condition and warranty, some ponding
4. Windows – Excellent condition
5. Envelope – Minor metal panel system repair required/ Misc masonry repair
6. Finishes – Good condition
7. Electrical – Good condition
8. Technology – Good condition
9. HVAC – Good condition
10. Plumbing/FP – Good condition, fully sprinklered
11. Environmental – nothing required



RICHLAND ELEMENTARY SCHOOL

Conceptual Renovation Costs

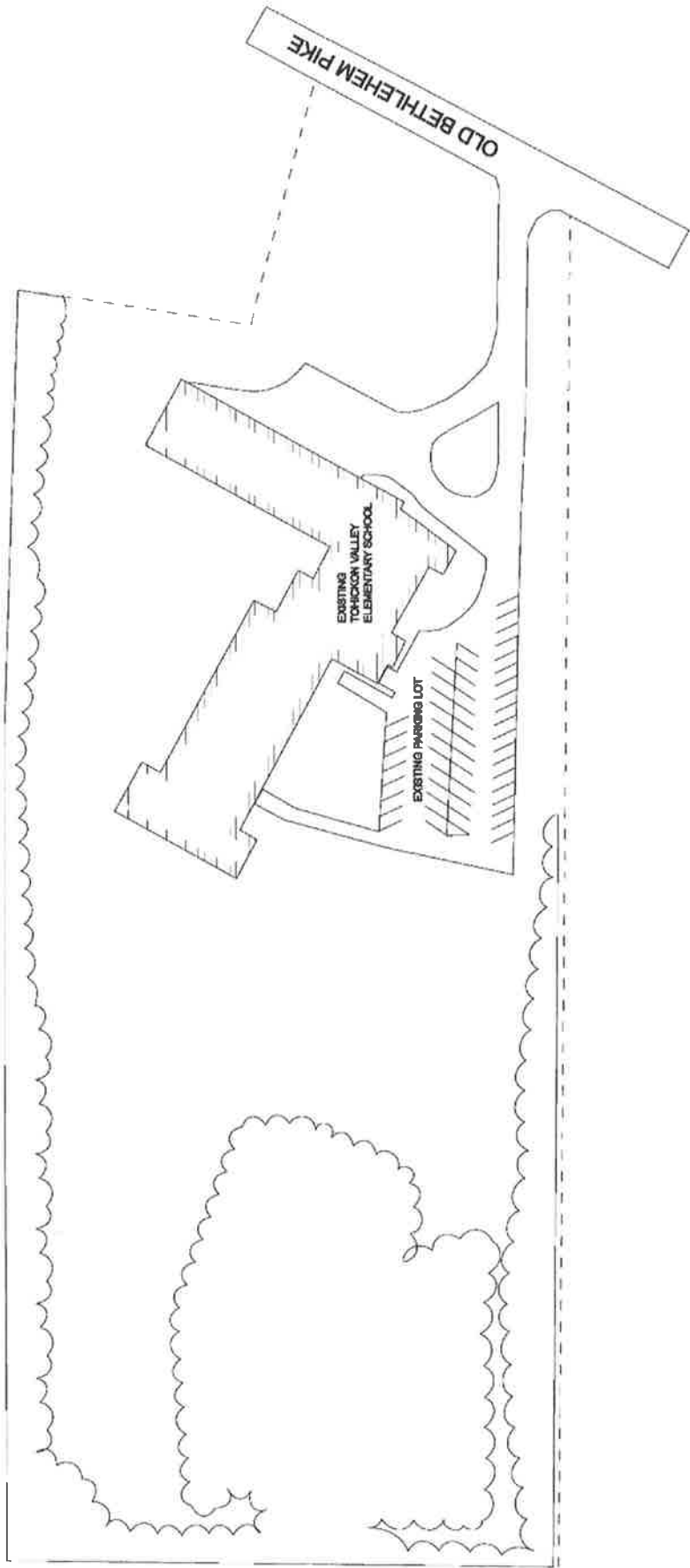
Construction Cost	\$ 926,624
Soft Costs @ 30%	<u>\$ 277,987</u>

TOTAL CONCEPTUAL COSTS \$ 1,204,611



TOHICKON VALLEY ELEMENTARY SCHOOL

Facility Assessment



QUAKERTOWN COMMUNITY SCHOOL DISTRICT



TOHICKON VALLEY ELEMENTARY SCHOOL

Typical Images





TOHICKON VALLEY ELEMENTARY SCHOOL

Highlights

1. Code – ADA and building code upgrades required
2. Site – Difficult bus-car separation
3. Roofing – Out of warranty, misc repairs required short term, replace in entirety at some point
4. Windows – Replace in entirety
5. Envelope – EIFS repairs required throughout
6. Finishes – Replace floors, ceilings, finishes, casework throughout
7. Electrical – Replace lighting and controls
8. Technology – upgrade as required
9. HVAC – Add AC, upgrade controls, replace in entirety
10. Plumbing/FP – Fire protection and fixture replacement
11. Environmental – Abate in entirety, VAT and mastic



TOHICKON VALLEY ELEMENTARY SCHOOL

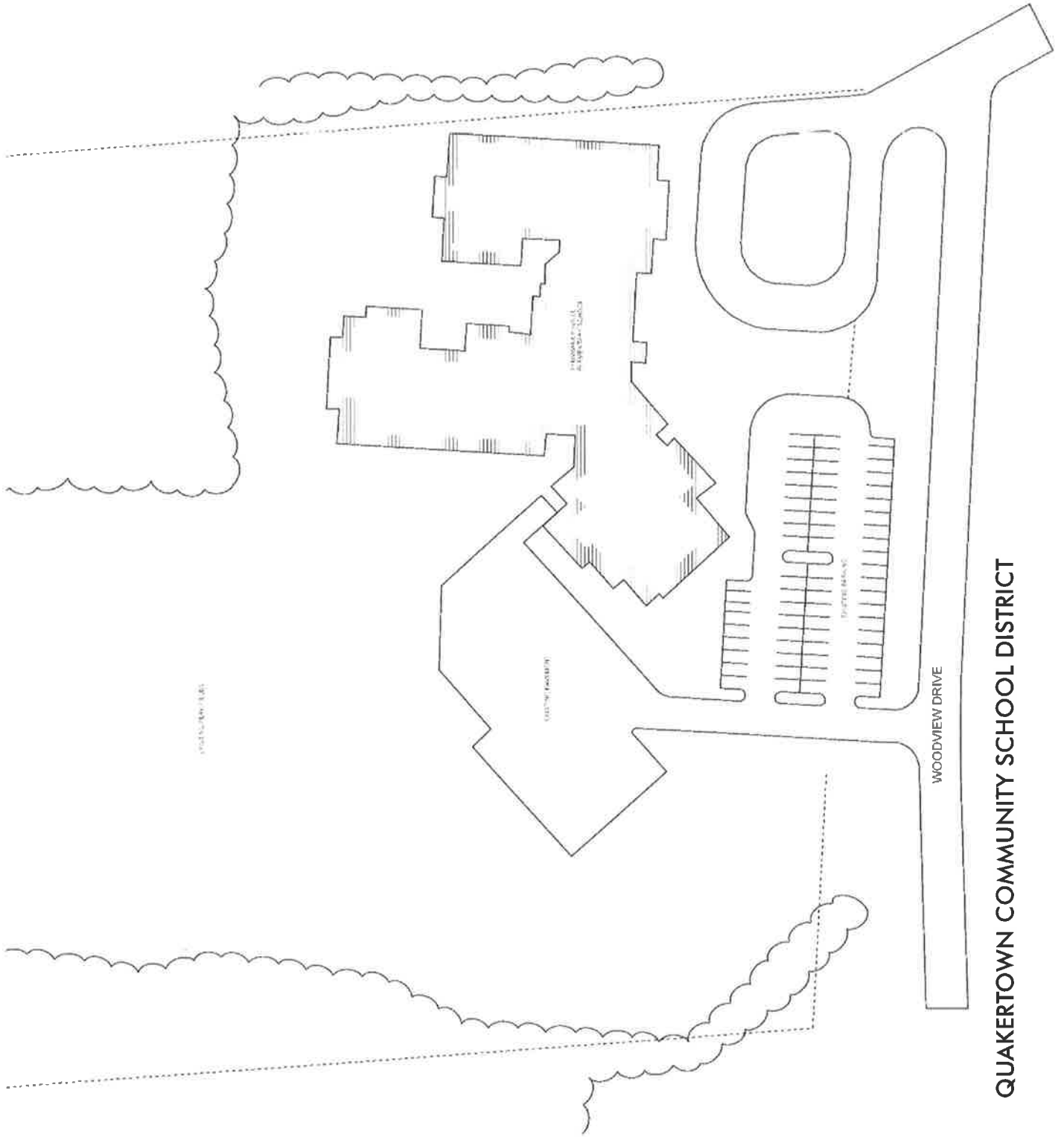
Conceptual Renovation Costs	
Construction Cost	\$ 8,404,737
Soft Costs @ 30%	<u>\$ 2,521,421</u>
TOTAL CONCEPTUAL COSTS	\$ 10,926,158



TRUMBAUERSVILLE ELEMENTARY SCHOOL

Facility Assessment

QUAKERTOWN COMMUNITY SCHOOL DISTRICT



QUAKERTOWN COMMUNITY SCHOOL DISTRICT



TRUMBAUERSVILLE ELEMENTARY SCHOOL

Typical Images



QUAKERTOWN COMMUNITY SCHOOL DISTRICT



TRUMBAUERSVILLE ELEMENTARY SCHOOL

Highlights

1. Code – ADA and building code upgrades required
2. Site – Good site
3. Roofing – Out of warranty, replace in entirety at some point
4. Windows – Good window system
5. Envelope – Minor masonry repointing required
6. Finishes – Future replacement of floor, ceiling, casework
7. Electrical – Systems and lighting in good condition
8. Technology – Good condition
9. HVAC – Control upgrades to tie systems into BMS
10. Plumbing/FP – Verify fire protection compliance
11. Environmental – No issues



TRUMBAUERSVILLE ELEMENTARY SCHOOL

Conceptual Renovation Costs

Construction Cost \$ 4,438,974

Soft Costs @ 30% \$ 1,331,692

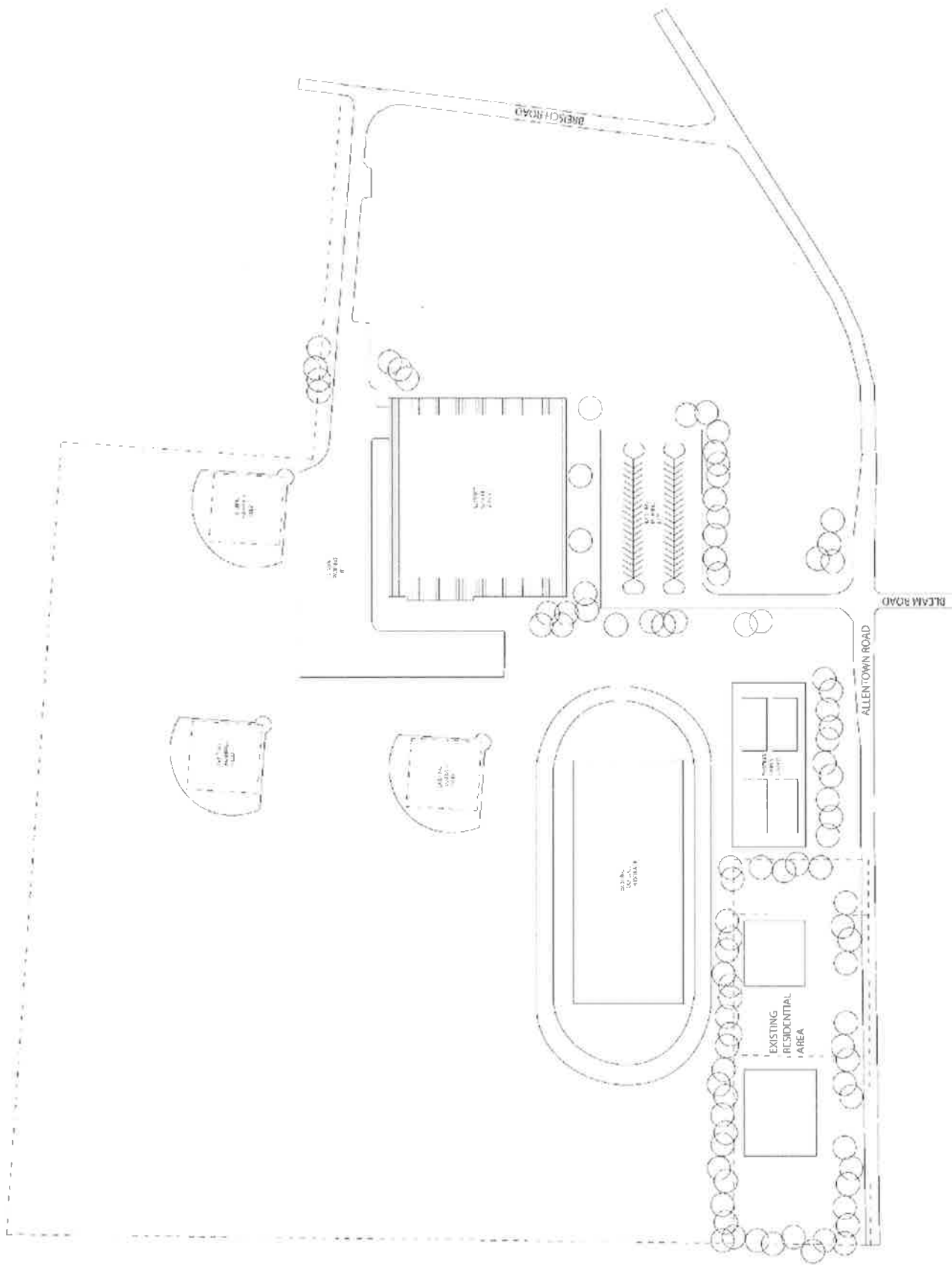
TOTAL CONCEPTUAL COSTS \$ 5,770,666



MILFORD MIDDLE SCHOOL

Facility Assessment

QUAKERTOWN COMMUNITY SCHOOL DISTRICT



QUAKERTOWN COMMUNITY SCHOOL DISTRICT



MILFORD MIDDLE SCHOOL

Typical Images





MILFORD MIDDLE SCHOOL

Highlights

1. Code – ADA upgrades required. Misc Building Code upgrades required
2. Site – Storm water and other current code issues, no public water, gas, poor site lighting
3. Roofing – Replace in entirety
4. Windows – Recent window replacement
5. Envelope – Masonry repointing required, EIFS repairs, soffit replacement
6. Finishes – Replace floors, ceilings, casework, repaint
7. Electrical – Fair condition, Consider lighting replacement
8. Technology – Fair condition, upgrade as required
9. HVAC – Replace HVAC systems
10. Plumbing/FP – Sprinkler entire building
11. Environmental – Abate in entirety, VAT and mastic



MILFORD MIDDLE SCHOOL

Conceptual Renovation Costs

Construction Cost \$ 8,336,931

Soft Costs @ 30% \$ 2,510,079

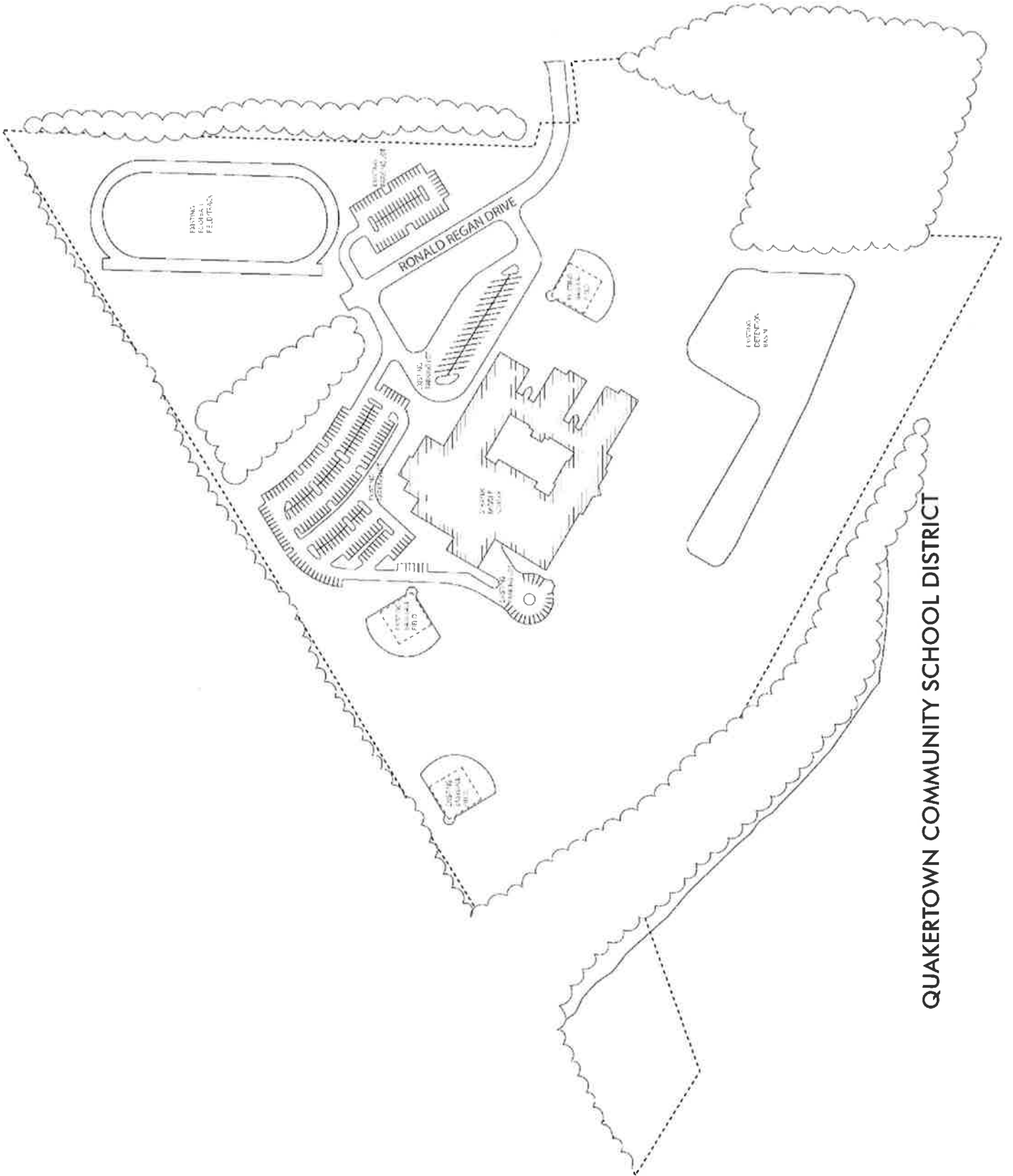
TOTAL CONCEPTUAL COSTS \$ 10,877,010



STRAYER MIDDLE SCHOOL

Facility Assessment

QUAKERTOWN COMMUNITY SCHOOL DISTRICT



QUAKERTOWN COMMUNITY SCHOOL DISTRICT



STRAYER MIDDLE SCHOOL

Typical Images



QUAKERTOWN COMMUNITY SCHOOL DISTRICT



STRAYER MIDDLE SCHOOL

Highlights

1. Code – Building is Code Compliant
2. Site – Site is in excellent condition, playing field discussions if Ronald Reagan Drive is continued
3. Roofing – Under warranty through 2034
4. Windows – Energy efficient window systems provided
5. Envelope – Minor masonry and water infiltration issues
6. Finishes – Excellent
7. Electrical – Excellent Technology – Excellent
8. HVAC – Upgrade BMS systems
9. Plumbing/FP – Excellent and compliant
10. Environmental – none



STRAYER MIDDLE SCHOOL

Conceptual Renovation Costs

Construction Cost \$ 935,959

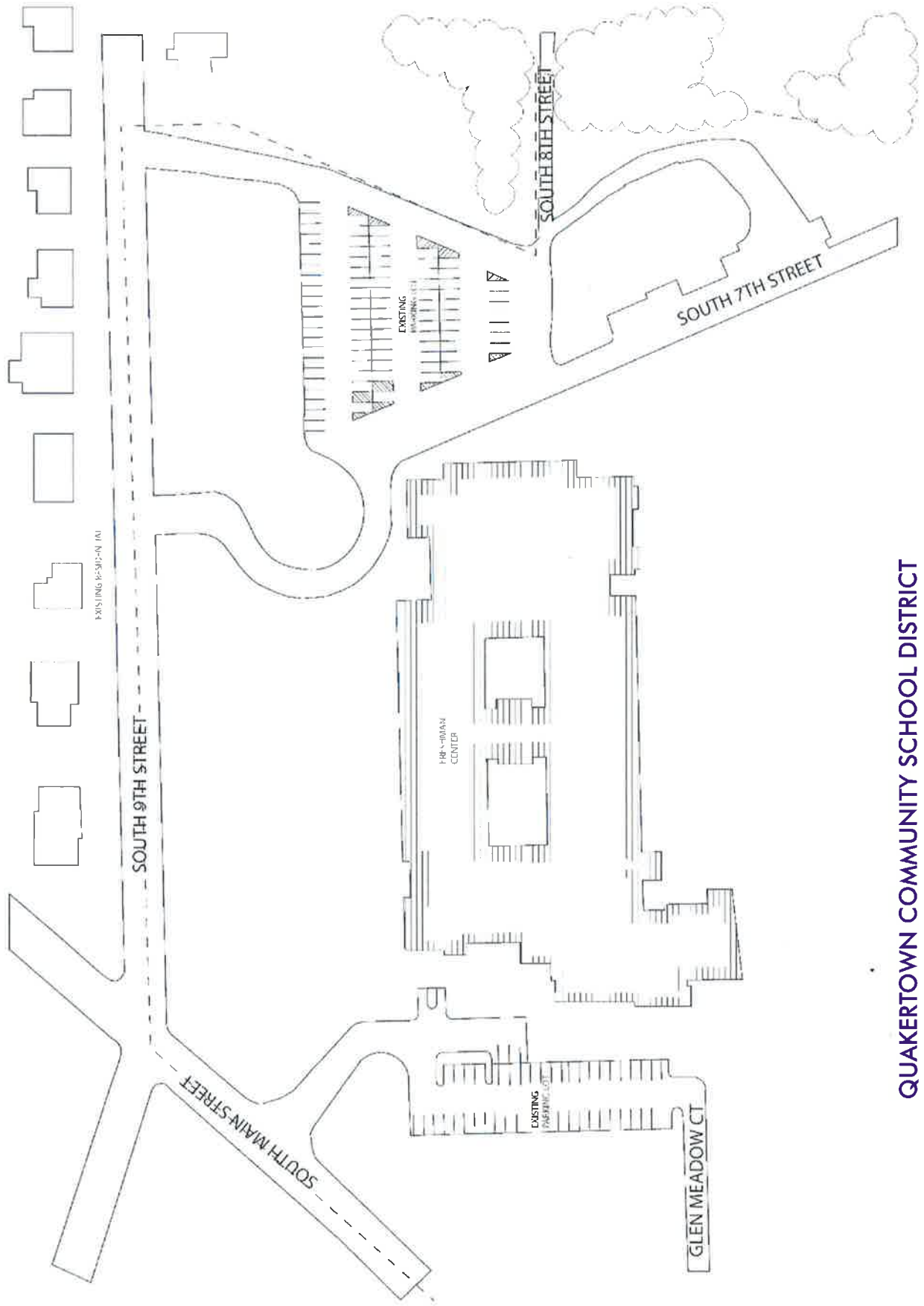
Soft Costs @ 30% \$ 280,788

TOTAL CONCEPTUAL COSTS \$ 1,216,747



FRESHMAN CENTER

Facility Assessment



QUAKERTOWN COMMUNITY SCHOOL DISTRICT



FRESHMAN CENTER

Typical Images





FRESHMAN CENTER

Highlights

1. Code – Building is Code Compliant
2. Site – 9th Street traffic issues, concrete walk connector to high school
3. Roofing – Warranty nearing expiration, replace in entirety
4. Windows – Water infiltration, flashing detail issues
5. Envelope – Masonry water infiltration, misc re-pointing, EIFS repairs
6. Finishes – Some floor, ceiling casework upgrades required
7. Electrical – Good condition
8. Technology – Good condition
9. HVAC – Upgrade BMS systems
10. Plumbing/FP – Compliant
11. Environmental – none



FRESHMAN CENTER

Conceptual Renovation Costs

Construction Cost \$ 4,649,032

Soft Costs @ 30% \$ 1,394,710

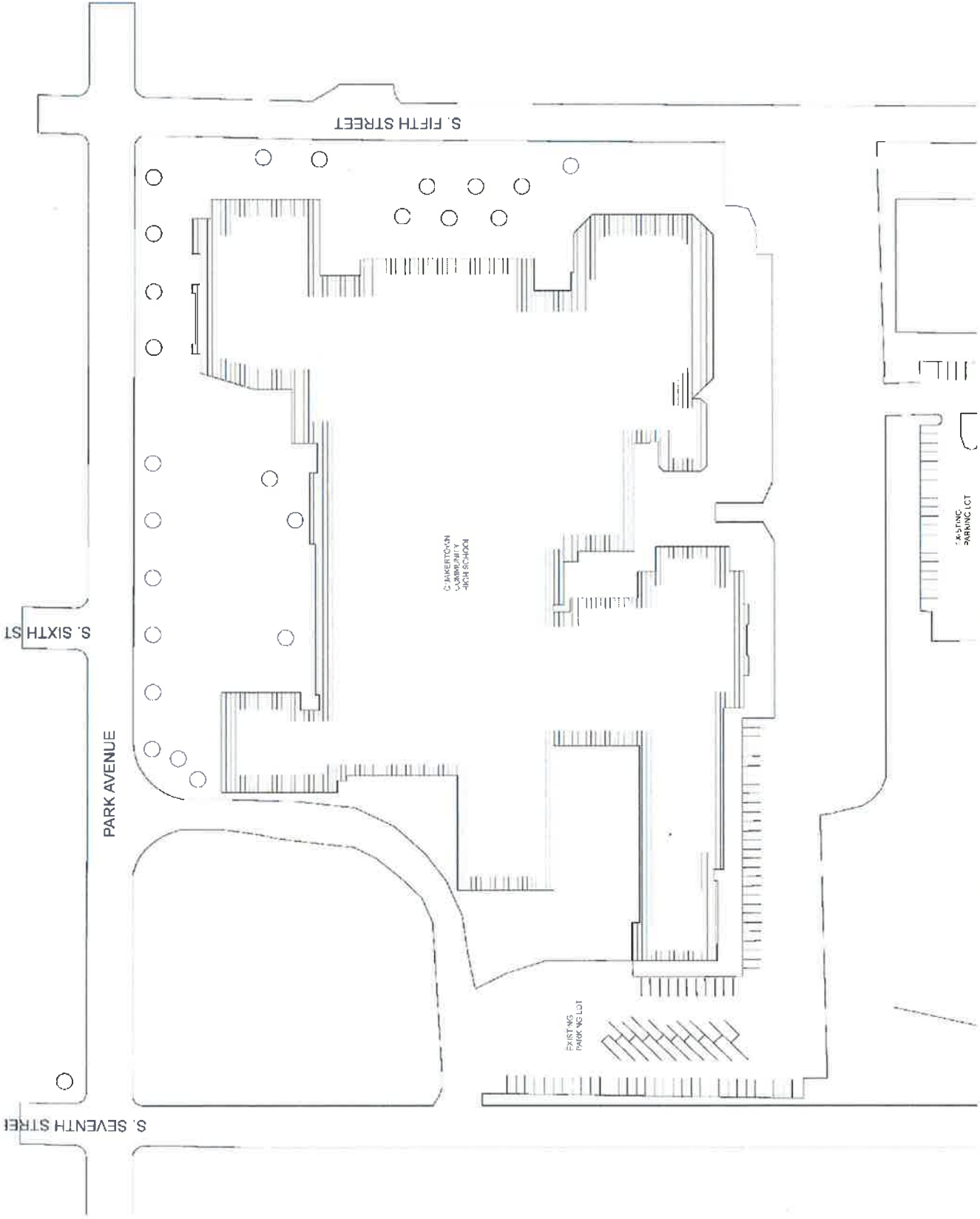
TOTAL CONCEPTUAL COSTS \$ 6,043,742



QUAKERTOWN COMMUNITY HIGH

Facility Assessment

QUAKERTOWN COMMUNITY SCHOOL DISTRICT



QUAKERTOWN COMMUNITY SCHOOL DISTRICT



QUAKERTOWN STADIUM

Facility Assessment



QUAKERTOWN COMMUNITY SCHOOL DISTRICT



QUAKERTOWN STADIUM

Highlights

1. Code –Code Compliant
2. Site – Turf field considerations
3. Roofing –
4. Windows –
5. Envelope – Misc Masonry repairs, fastener connection points
6. Finishes – Strip and repair heavy traffic sealer at visitor side bleachers
7. Electrical – Lighting control structure, remove and reconstruct, add fire alarm
8. Technology –
9. HVAC –
10. Plumbing/FP – Provide dry-type sprinkler
11. Environmental – none



QUAKERTOWN STADIUM

Conceptual Renovation Costs

Construction Cost	\$ 531,648
Soft Costs @ 30%	\$ <u>159,494</u>

TOTAL CONCEPTUAL COSTS \$ 691,142



GARAGE & UTILITIES BLDG

Facility Assessment



QUAKERTOWN COMMUNITY SCHOOL DISTRICT



GARAGE AND UTILITIES BUILDING

Typical Images



QUAKERTOWN COMMUNITY SCHOOL DISTRICT



GARAGE AND UTILITY BUILDING

Highlights

1. Code – Non-ADA compliant toilet room and fixtures, non-accessible building entry
2. Site –
3. Roofing – Replace in entirety
4. Windows –
5. Envelope – Recently repainted
6. Finishes – Upgrade floors/ ceilings
7. Electrical – Add fire alarm
8. Technology –
9. HVAC – Replace RTU
10. Plumbing/FP – Provide sprinkler
11. Environmental – Abate in entirety, transite panels/ ACM insulation



GARAGE AND UTILITY BUILDING

Conceptual Renovation Costs

Construction Cost	\$ 685,532
Soft Costs @ 30%	\$ <u>205,660</u>

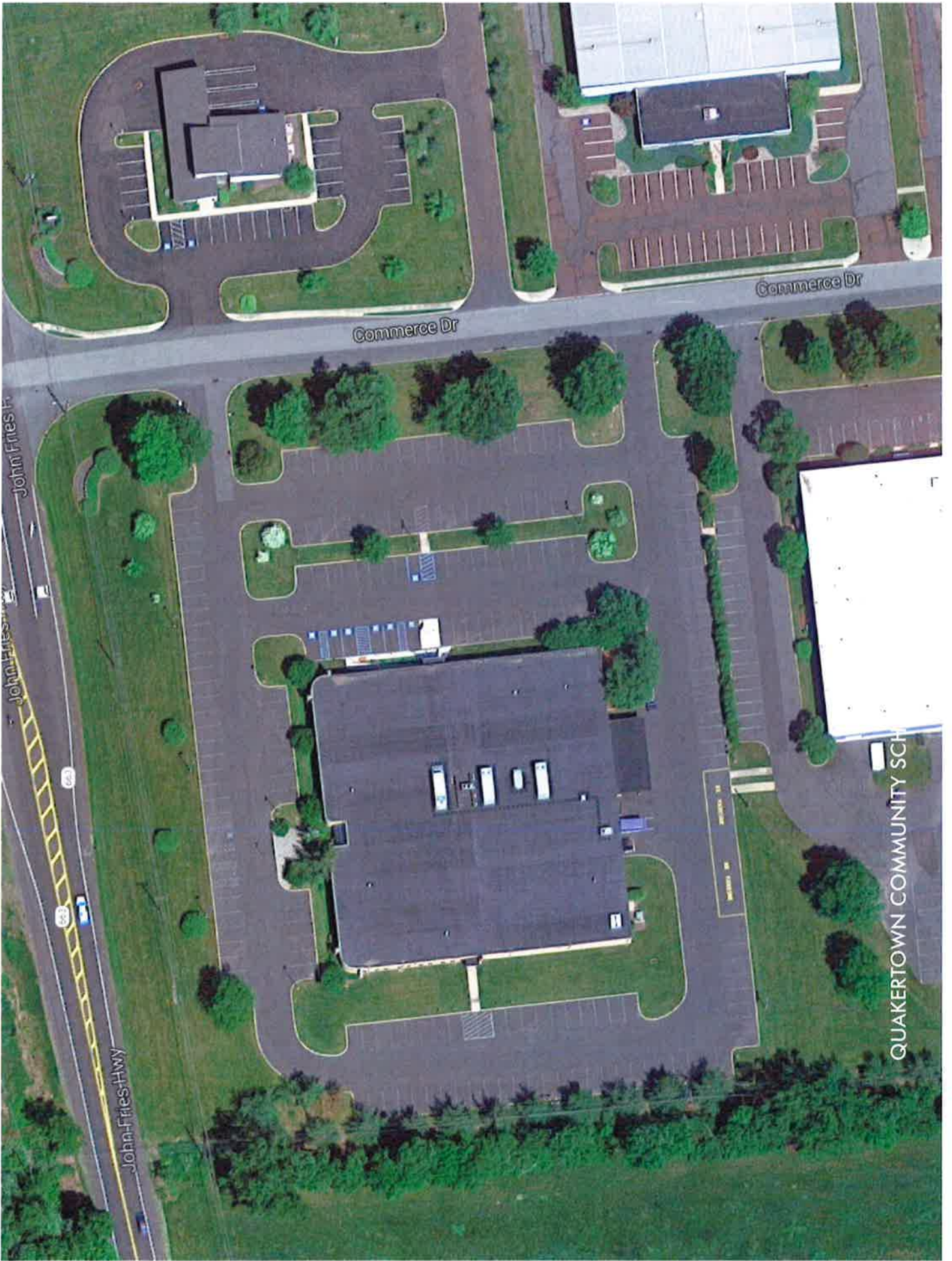
TOTAL CONCEPTUAL COSTS \$ 891,192



DISTRICT ADMINISTRATION

Facility Assessment

QUAKERTOWN COMMUNITY SCHOOL DISTRICT

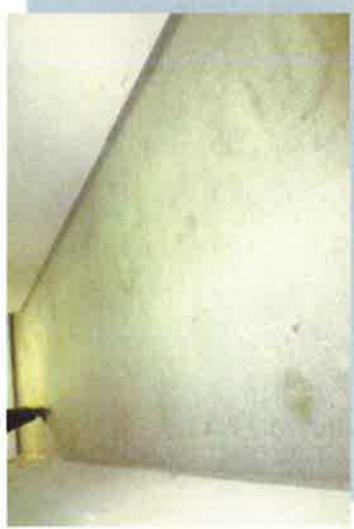


QUAKERTOWN COMMUNITY SCH



DISTRICT ADMINISTRATION

Typical images



QUAKERTOWN COMMUNITY SCHOOL DISTRICT



DISTRICT ADMIN BUILDING

Highlights

1. Code – Building is code-compliant
2. Site – Replace damaged curb, sidewalk
3. Roofing – Metal coping repairs
4. Windows – Good condition
5. Envelope – Lacking building insulation, leaking scupper boxes
6. Finishes – Good condition
7. Electrical – Good condition
8. Technology – Good condition
9. HVAC – Building fails to maintain temp below 25 degrees and above 90 degrees
10. Plumbing/FP – Fully sprinklered
11. Environmental – None



DISTRICT ADMIN BUILDING

Conceptual Renovation Costs

Construction Cost	\$ 385,900
Soft Costs @ 30%	\$ <u>115,770</u>

TOTAL CONCEPTUAL COSTS \$ 501,670



PUMPING STATION ROAD PROPERTY

QUAKERTOWN COMMUNITY SCHOOL DISTRICT



QUAKERTOWN COMMUNITY SCHOOL DISTRICT

SUMMARY ESTIMATED COSTS

BUILDING	Est. Const. Costs	Soft Costs (@ 30 %)	TOTAL COSTS
Haycock Elementary School	\$ 3,258,275	\$ 977,483	\$ 4,235,758
Neidig Elementary School	\$ 8,030,119	\$ 2,409,036	\$ 10,439,155
Pfaff Elementary School	\$ 764,978	\$ 229,493	\$ 994,471
Quakertown Elementary School	\$ 8,686,080	\$ 2,605,824	\$ 11,291,904
Richland Elementary School	\$ 926,624	\$ 277,987	\$ 1,204,611
Tohickon Valley Elementary School	\$ 8,404,737	\$ 2,521,421	\$ 10,926,158
Trumbauersville Elementary School	\$ 4,438,974	\$ 1,331,692	\$ 5,770,666
Milford Middle School	\$ 8,366,931	\$ 2,510,079	\$ 10,877,010
Strayer Middle School	\$ 935,959	\$ 280,788	\$ 1,216,747
Freshman Center	\$ 4,649,032	\$ 1,394,710	\$ 6,043,742
High School	\$ -	\$ -	\$ -
Stadium	\$ 531,648	\$ 159,494	\$ 691,142
Garage & Utilities Building	\$ 685,532	\$ 205,660	\$ 891,192
District Admin Building	\$ 385,900	\$ 115,770	\$ 501,670
TOTALS	\$ 50,064,789	\$ 15,019,437	\$ 65,084,226

An aerial photograph of a densely populated urban neighborhood, likely Quakertown, Pennsylvania. The image shows a complex grid of streets, numerous buildings, and patches of greenery. A prominent purple vertical bar runs along the left edge of the image. The overall tone is dark and monochromatic, with the purple bar providing a strong contrast.

QUESTIONS AND ANSWERS

QUAKERTOWN COMMUNITY SCHOOL DISTRICT